

BUILDING A DETACHED GARAGE?



Then you should know . . .

WHERE TO APPLY

**Town of Drayton Valley
Box 6837, 5120 – 52 Street
Drayton Valley, Alberta T7A 1A1
Attention: Planning & Development Officer**

HOURS OF OPERATION

**Monday to Friday
8:30 a.m. to 4:30 p.m.**

**Saturday & Sunday
Closed**

PHONE & FAX

**Telephone: 514-2200
Facsimile: 542-5753**

*** * * * ***

The Town of Drayton Valley is proud of its appearance and enthusiastically greets all those who wish to develop and contribute to the growth of the community. The Town encourages a high degree of participation to best accommodate the interest of both the private landowners and the public interest.



Thank you

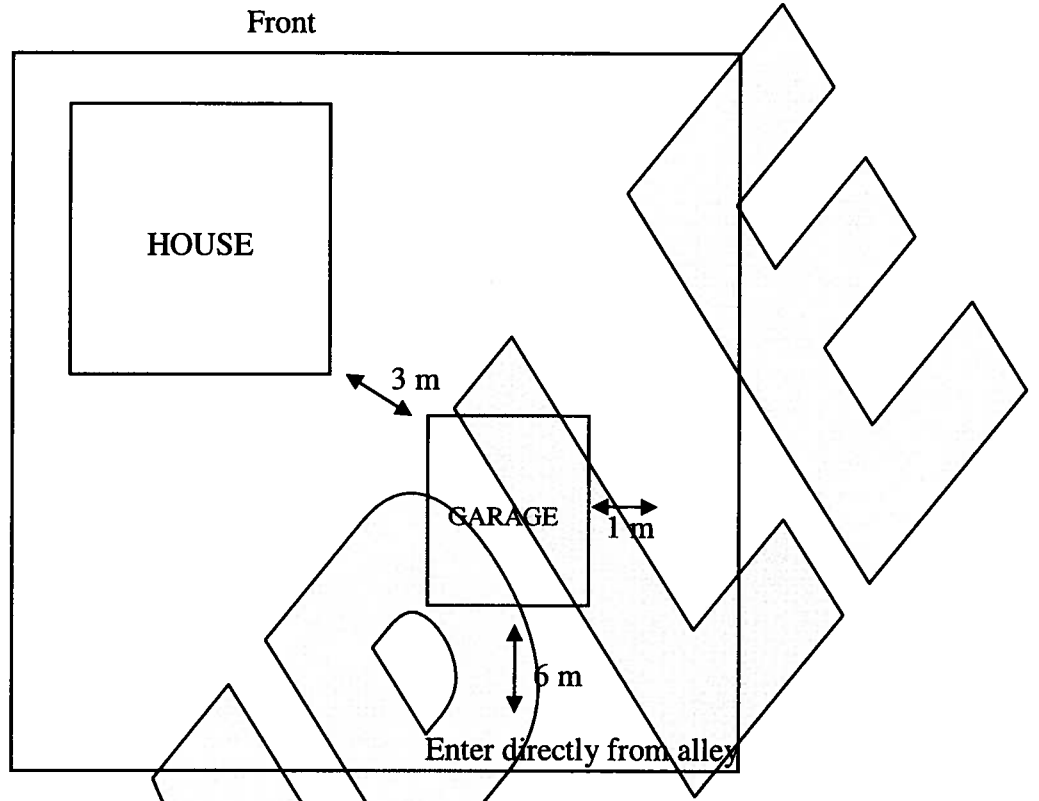
1. The following are the setback requirements that must be met, in order for your application to be approved:
 - a. If the garage is to be entered directly from the lane/alley, then the garage must be at least 6.5 metres (19.69 feet) from the rear property line.
 - b. If the garage is to be entered from the side, not directly from the lane/alley, then the garage must be situated at least 1.0 metre (3.28 feet) from the rear property line.
 - c. The garage must be at least 1.0 metre from the side property lines.
 - d. The garage must be a minimum of 3.0 metres (9.84 feet) from the principal building (house) if there is no lane/alley access to the property. If there is lane/alley access to the property, the garage may be a minimum of 2.1 metres (6.89 feet) from the principal building (house).
2. The “Building Permit Application” and “Application for Development Permit” forms must be completed and submitted to the Town of Drayton Valley. Blank copies of these documents are attached for your completion.
3. A Site Plan, similar to the attached, is required to be submitted with your application.
4. The attached “Standard Garage Details” form is required to be complete and submitted with your application. This form must be signed and dated by the Applicant.

Please note that the following conditions apply to the construction of garages:

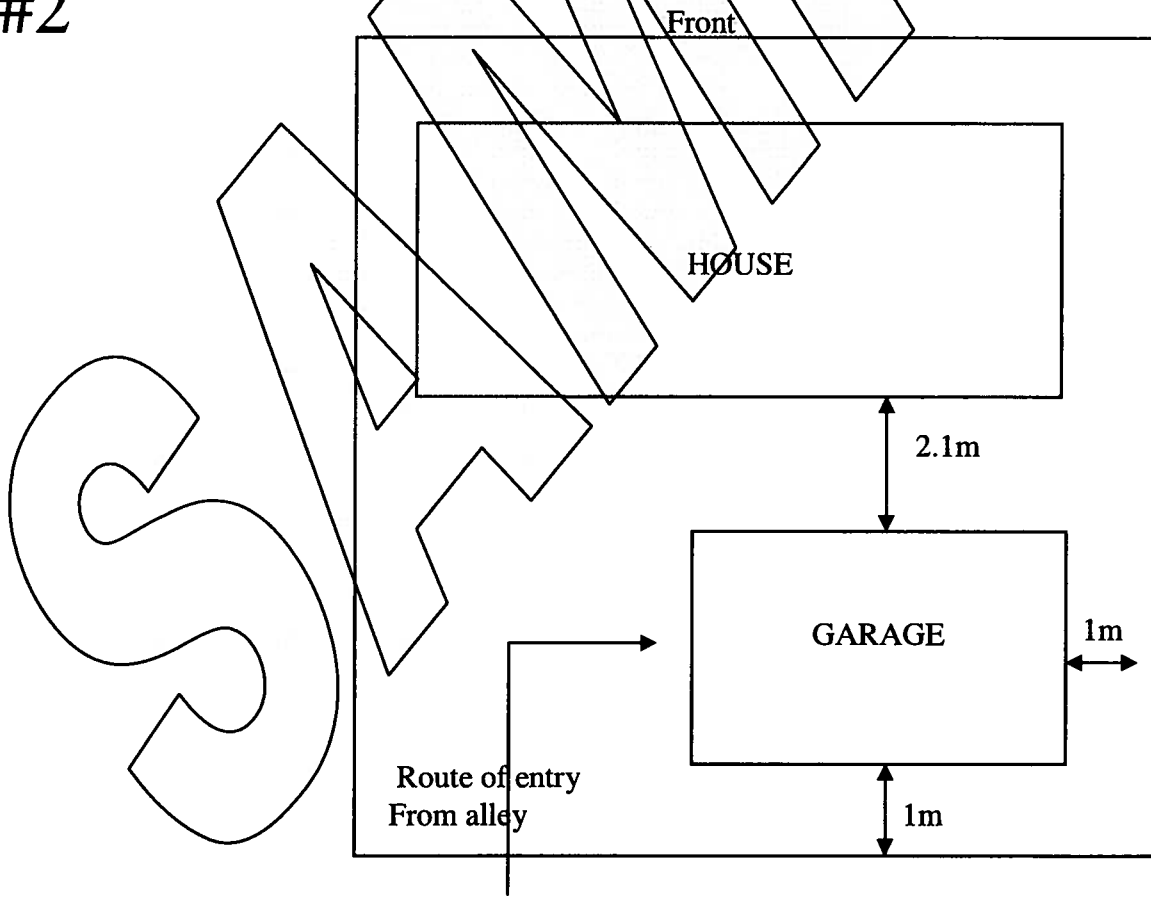
- Windows cannot be placed in a wall that is closer than 4 feet to the neighbouring property.
- If the roof framing members transfer roof loading to the overhead garage door beam, please specify the size of the garage door beam.
- Large opening size (doors over 10 feet wide) garage door beams without roof loading must be a minimum size of 2 – 2 x 10.
- The maximum size of a detached garage on a slab thickening foundation is 728 square feet, with no dimension exceeding 30 feet. Oversized garage will require engineering designs.

SITE PLAN

#1



#2



Standard Garage/Shed Details

Please check off garage/shed construction details as listed below:

Roofing Material

- Asphalt Shingles
- Cedar, Pine Shakes/Shingles
- Metal Roofing
- Other Specify: _____

Walls - Exterior Finish

- Vinyl Siding
- Stucco
- Painted Plywood
- Metal Siding
- Other Specify: _____

Roof Sheathing

- 3/8" OSB
- 3/8" Plywood
- 1/2" Plywood
- 1/2" OSB
- Other Specify: _____

Wall Sheathing

- 3/8" OSB
- 3/8" Plywood
- 1/2" Plywood
- 1/2" OSB
- Other Specify: _____

Roof Framing

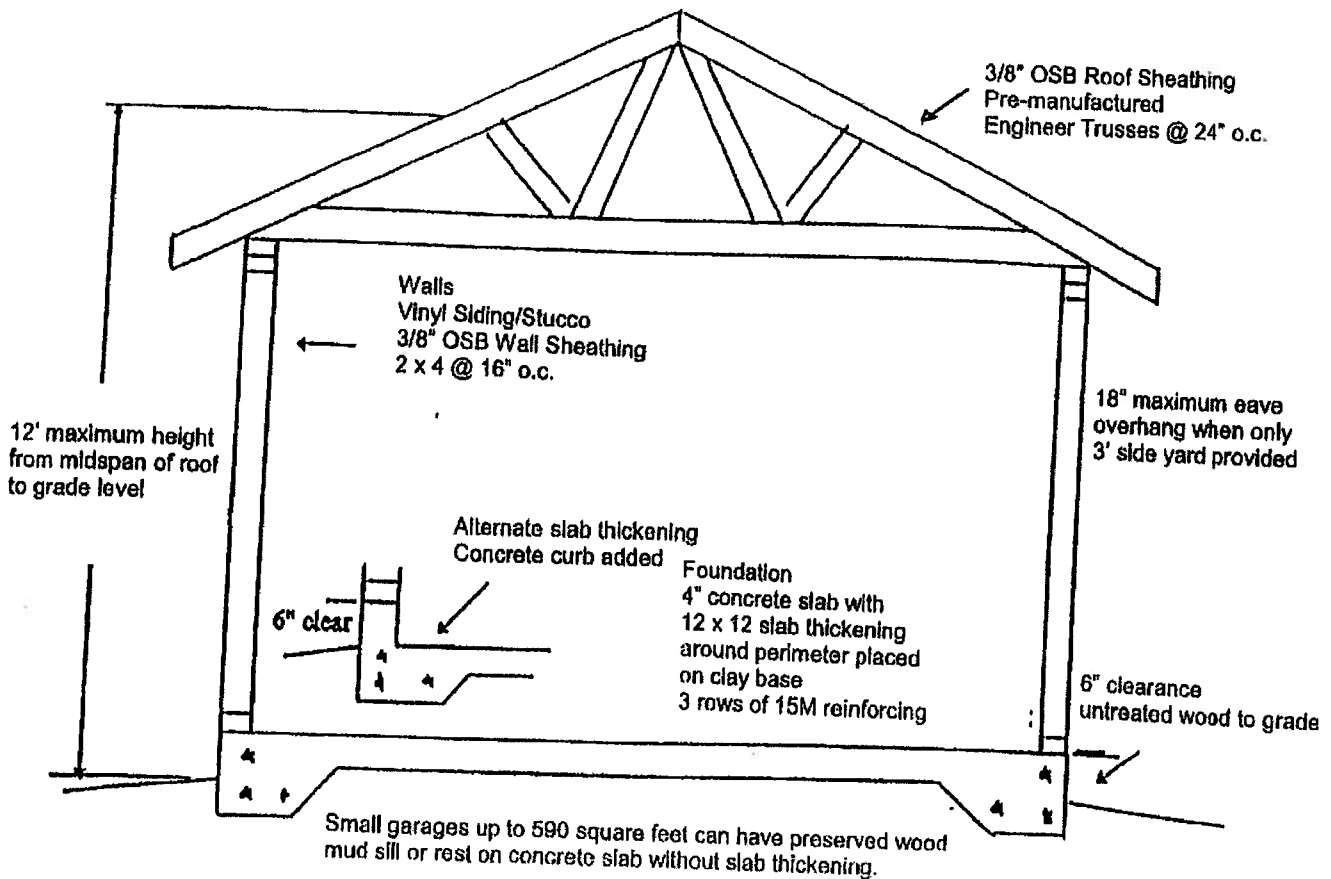
- Pre-manufactured Engineered Trusses
- Stick Built Rafters
2 x 4 @ 16 or 24" o.c.
2 x 6 @ 16 or 24
- Other Specify: _____
- Developed Attic/Second Floor
Must provide floor joist layout

Wall Framing

- 2 x 4 @ 16 o.c.
- 2 x 6 @ 24 o.c.
- 2 x 6 @ 16"/24" o.c.
- Insulated Walls & Ceiling
- Interior Finish Drywall or Paneling

Applicant's Signature

Date



4. SECTION 4 – REQUIRED MATERIALS

The following documentation must be attached to your Development Permit Application prior to submission of your Development Permit; otherwise the application will not be accepted. Every application for a Development Permit shall, unless otherwise directed by the Development Officer, be accompanied by the following:

- **SITE PLAN** showing the following information: Property boundary and lot dimensions, scale of plan, legal description, location and dimensions of buildings or structures, required side yards and setbacks shown, abutting streets, avenues, and lanes shown, all easements shown, dimensioned layout of parking areas, entrances, and exits, fencing, screening and garbage areas, one site plan copy 8.5" x 11", distance of proposed building(s) from road and closest side property line.
- **DETAILED CONSTRUCTION PLANS** containing the following: Floor plans, elevations (views of each side of the building), building, cross section, wall sections, specifications, any other pertinent details of construction.
- **DRAINAGE SITE PLANS** showing the following information: Property boundary and the direction and flow of storm water from the property into the municipal system.
- **SERVICING PLAN (COMMERCIAL DEVELOPMENTS)** showing the following information: Property boundary and the locations of and connections to municipal services.
- **LANDSCAPING PLAN (COMMERCIAL DEVELOPMENTS)** showing the following information: Property boundary and the landscaping of the lands. Details such as types of foliage, trees and ground cover are required.
- **FOR COMMERCIAL DEVELOPMENTS, ALL PLANS SHOULD BE SUBMITTED IN ELECTRONIC FORMAT, IN ADDITION TO THE PAPER COPIES PROVIDED TO THE TOWN.**

In addition to the above, and pursuant to the Town of Drayton Valley Land Use Bylaw, the Development Authority may require further information, drawings or documents as may be needed to determine any aspect to the proposed development, or such other material as may be required for presentation to the Municipal Planning Commission. Applicants are advised that failure to provide all of the required information will result in the application **NOT BEING PROCESSED UNTIL** all required information and fees are submitted.

NOTES:

- **This is not a Building Permit (must be obtained separately).**
- **Any development carried out prior to obtaining a Development Permit Decision signed by an authorized Development Officer of the Town of Drayton Valley and prior to the appeal expiry date is at the applicant's own risk.**
- **Any development carried out prior to issuance of a valid Development Permit shall be charged at double the cost had the application been made prior to commencement of construction.**
- **The information on this form is collected under the authority of Paragraph 32c of The Alberta Freedom of Information and Protection of Privacy Act, RSA, 2000, Ch. F-18.5, and shall only be used for the purpose for which it was collected.**

The Applicant has read and acknowledged the above information, as indicated by his/her initials below.

Applicant Initials



BUILDING PERMIT APPLICATION

Town of Drayton Valley
Planning & Development Dep't.
5120 - 52nd Street, Box 6837
Drayton Valley, AB T7A 1A1
Phone: (780) 514-2200 Fax: (780) 542-5753
www.town.draytonvalley.ab.ca

PERMIT #:	_____
TAX ROLL #:	_____
ZONING:	_____
APP FEE:	_____
RECEIPT #:	_____

OFFICE USE ONLY

All Sections Must Be Completed In FULL ~PLEASE PRINT~

Applicant's Name : _____ Date: _____

Street Address of Project: _____

Plan: _____ Block: _____ Lot(s): _____ or ___ 1/4 Sec ___ Twp ___ Rge ___ W5th

Proposed Use: _____ Project Building Cost: \$ _____

New Construction Addition Renovation Demolition Mobile Home Other _____

Applicant's Full Name: _____

Contact No.: _____
(Home) (Cell) (Work) (Fax)

Mailing Address: _____

Landowner's Full Name (if different from Applicant): _____

Contact No.: _____
(Home) (Fax)

Mailing Address: _____

Contractor's Full Name: _____

Contact No.: _____
(Home) (Cell) (Work) (Fax)

Mailing Address: _____

Engineer's Full Name: _____

Contact No.: _____
(Home) (Cell) (Work) (Fax)

Mailing Address: _____

Supporting Documents Attached Blueprints/Drawings (3 Paper Copies or Electronic Copy (ie. PDF, autocad))

Subject to this application being approved, the undersigned acknowledges responsibility for all work associated with the project, including any damage to any Public Utilities or local improvements including but not limited to curb stops, water shut off valves, curbs, sidewalks, road ways, lanes, etc. The applicant shall be responsible for the prevention and/or clean up of any spillage, littering or garbage associated with the development. No ground water of any kind including weeping tile, roof down spouts, or site drainage shall be allowed to enter the sanitary sewer system. I agree to conform to the Safety Codes Act of Alberta, Applicable Codes, Municipal Bylaws, and Regulations. I/We hereby make this application under the provisions of the current Building Permit Bylaw for the Town of Drayton Valley for a Building Permit in accordance with the plans and supporting information submitted herewith and which forms part of this application.

Applicant's Signature: _____ Date: _____



DRAYTON VALLEY

'Pulling Together'

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5120 – 52nd Street, Box 6837
Drayton Valley, AB T7A 1A1
Phone: (780) 514-2200 Fax: (780) 542-5753
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**BUILDING PERMIT
(OFFICE USE ONLY)**

SPECIFICATIONS: Lot Size: _____ Building Area: _____ Classification: _____
No. of Storeys: _____ Frame: _____ Foundation: _____
Walls: _____ Floors: _____ Roof: _____

Approved subject to the following conditions: _____

Refused for the following reasons: _____

Safety Codes Officer
(Print Name)

Safety Codes Officer
(Signature)

Safety Codes Officer
Designation Number

Date Issued

PLEASE NOTE:

1. All buildings shall comply with the Alberta Building Code.
2. The applicant may appeal the conditions of this permit within 15 days of the date of issuance of the Building Permit.
3. This Building Permit expires by limitation and becomes null and void if the work authorized by such permit is not commenced within sixty (60) days from the date of issuance of said permit or if the work authorized by such permit is suspended or abandoned for a period of one hundred and twenty (120) days at any time after work is commenced.
4. No building shall be used or occupied until an Occupancy Permit has been issued.

The information on this form is collected under the authority of Paragraph 33c. of the *Alberta Freedom of Information and Protection of Privacy Act, RSA, 2000, Ch. F-25*, and shall only be used for the purpose for which it is collected.